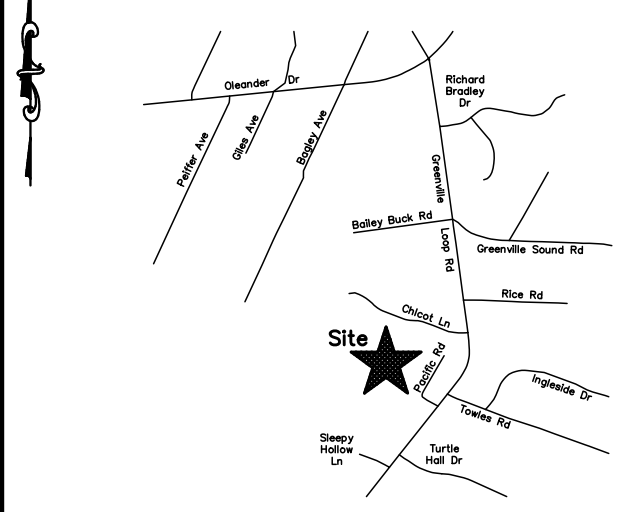


LOCATION MAP

NOT TO SCALE



TRAFFIC ENGINEERING NOTES:

1. A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO RECORDING OF THE FINAL PLAN. PLAN SHALL ADHERE TO SD 15-17.
2. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT PARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
3. OPEN CUT NOTES:
 - a. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 910-341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
 - b. CONTRACTOR TO COORDINATE WITH CITY OF WILMINGTON FOR ACCEPTABLE HOURS OF CONSTRUCTION AND TRAFFIC CONTROL DURING INSTALLATION OF UTILITIES IN CITY ROADS.
 - c. SUITABLE COMPACTION AND APPROVED STONE & BASE COURSES TO BE INSTALLED IN PLACE OF OPEN CUT.
 - d. OPEN CUT TO BE SAW CUT.
4. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS OF WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR MUTCD STANDARDS.
5. IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
6. CALL TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
7. TACTILE WARNING MATS ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.
8. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
9. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
10. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREA SHALL BE WHITE.
11. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
12. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30 INCHES - 10 FT.
13. TRAFFIC ENGINEERING MUST APPROVE PAVEMENT MARKING LAYOUT PRIOR TO ACTUAL STRIPING.
14. A SUBDIVISION STREET DISCLOSURE STATEMENT SHALL BE PROVIDED TO BUYERS AT THE POINT OF SALE OF LOTS.
15. A SIGN SHALL BE LOCATED AT THE SOUTHERN END OF AURIANA WAY INDICATING THAT A FUTURE CONNECTION WILL BE OPENED WHEN THE PROPERTY TO THE SOUTH DEVELOPS.

ENVIRONMENTAL NOTES:

1. NO LAND DISTURBANCE IS PERMITTED OUTSIDE THE DESIGNATED LIMITS OF DISTURBANCE FOR SITE IMPROVEMENTS OTHER THAN WHAT IS NECESSARY TO THE INTO EXISTING CONTOURS OR MEET LANDSCAPING REQUIREMENTS.

DEVELOPMENT NOTES:

1. ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION. CALL U-LOCO AT 1-800-632-6949. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES, CURB AND GUTTER, SIDEWALK PANELS, PAVEMENT, ETC. THAT MAY BE DAMAGED DURING CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE QUALITY OR WORKMANSHIP FOUND IN THE ORIGINAL ITEM.
3. SOLID WASTE DISPOSAL WILL BE HAND TOTES.
4. ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON ZONING ORDINANCE & SUBDIVISION REGULATIONS.
5. APPROVAL OF SITE PLAN DOES NOT CONSTITUTE APPROVAL OF PROPOSED SIGNING FOR THIS SITE. A SEPARATE SIGN PERMIT MUST BE OBTAINED.
6. APPLICABLE STREET FRONTAGES SHALL HAVE NATURAL VEGETATIVE SCREENING MEETING CITY REQUIREMENTS.
7. THE DEVELOPMENT SHALL COMPLY WITH ALL CITY TECHNICAL STANDARDS AND DEVELOPMENT REGULATIONS.
8. PRIMARY BUILDING ENTRANCES SHALL BE CLEARLY DEFINED AND SHALL BE RECESSED AT LEAST FIVE FEET OR FRAMED BY AN ARCHITECTURAL ELEMENT. PRIMARY ENTRANCES SHOULD BE CLEARLY DISTINCTIVE FROM OTHER ENTRANCES. SECONDARY OUTSIDE BUILDING ENTRANCES TO UPPER FLOORS ON THE PRIMARY FACADE SHALL ALIGN WITH THE OUTER MOST WINDOW ON THE FRONT FACADE.

WATER & SEWER USAGE NOTES:

CURRENT WATER USAGE: 0 GPD PROPOSED WATER USAGE: 14,040 GPD
 CURRENT SEWER USAGE: 0 GPD PROPOSED SEWER USAGE: 14,040 GPD
 WATER - 39 X 360 GPD = 14,040 GPD
 SEWER - 39 X 360 GPD = 14,040 GPD

FIRE & LIFE SAFETY NOTES:

1. LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE FIRE HYDRANTS OR FDC'S. A 3FT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT.
2. CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
3. PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE FIRE LINE PERMIT FROM COW FIRE AND LIFE SAFETY DIVISION. 910-343-0086.
4. FIRE HYDRANTS TO BE INSTALLED PER CITY OF WILMINGTON ORDINANCE AND CPDIA STANDARDS.

UTILITY NOTES:

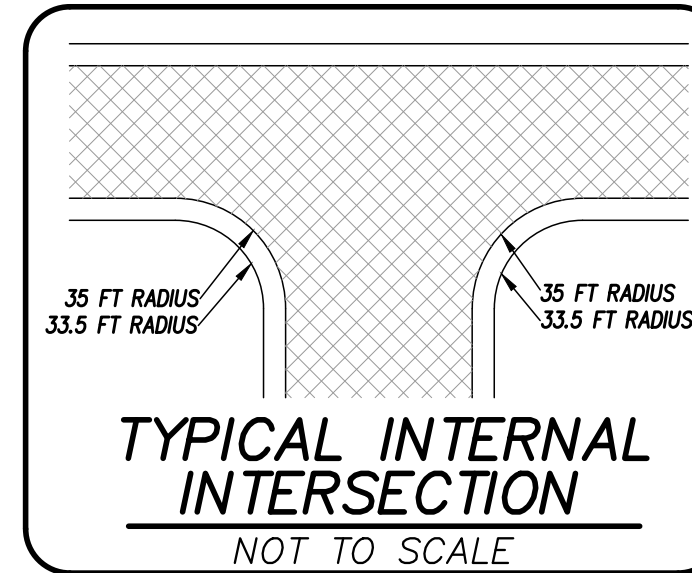
1. PROJECT SHALL COMPLY WITH THE CITY OF WILMINGTON AND CPDIA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE SET AND ACTIVATED ON NEW MAINS UNTIL ALL REQUIREMENTS ARE MET. CALL 343-3910 FOR INFORMATION.
2. IF THE CONTRACTOR DESIRES WATER FOR CONSTRUCTION USE, HE/SHE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
3. ALL COMMERCIAL WATER SERVICES AND ANY IRRIGATION SYSTEMS SUPPLIED BY CPDIA WATER SHALL HAVE A BACKFLOW PREVENTION DEVICE ACCEPTABLE TO THE CPDIA AND APPROVED BY USPC/OCHOR OR ASSE. CALL 799-5064 FOR INFORMATION.
4. WHEN PVC WATER MAINS AND/OR POLYETHYLENE SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED COPPER WIRE INSTALLED THE ENTIRE LENGTH AND STRAPPED TO THE PIPES. INSULATING TUBING IS TO BE INSTALLED TO GARE WIRE AND SECURED TO ALL VALVES AND FITTINGS. THE WIRE IS TO BE ACCESSIBLE AT ALL FIRE HYDRANTS AND WATER METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
5. 36" MINIMUM COVER OVER ALL WATER MAINS.
6. ANY SEPARATE CONNECTION FOR IRRIGATION SHALL COMPLY WITH CITY AND CPDIA CROSS-CONNECTION REQUIREMENTS WITH APPROVED BACKFLOW PREVENTION DEVICES.
7. AT LOCATIONS WHERE WATER MAIN CROSSES UNDER SANITARY SEWER, DUCTILE IRON PIPE SHALL BE USED ALONG WITH PROVIDING 24" MINIMUM OF VERTICAL SEPARATION.
8. WATER SERVICES CAN NOT BE ACTIVATED ON NEW WATER MAINS UNTIL ENGINEER'S CERTIFICATION AND APPLICANT'S CERTIFICATION HAVE BEEN PROVIDED TO NCDNR AND "FINAL APPROVAL" ISSUED.
9. UNDERGROUND UTILITIES- ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND, EXCEPT WHERE SUCH PLACEMENT IS PROHIBITED OR DEEMED IMPRACTICAL BY THE UTILITY PROVIDER. UNDERGROUND FACILITIES FOR STREET LIGHTING ALONG ALL PUBLIC STREETS ADJUTING THE SUBJECT SITE SHALL BE INSTALLED BY THE DEVELOPER.

GENERAL NOTES:

1. NEW HANOVER COUNTY PARCEL NUMBERS: P.D. = 6212-001-001; 6212-001-002; 6212-001-008
2. TOTAL PROJECT AREA: 462,528 SF (11.54 AC.)
3. EXISTING ZONING DISTRICT: MF-L (CD)
4. LAND CLASSIFICATION: WATER RESOURCE PROTECTION
5. THIS SITE IS LOCATED WITHIN ZONE "X" ACCORDING TO FEMA FROM COMMUNITY FLOOD NUMBER 370315800A, EFFECTIVE DATE 4/3/08
6. SITE ADDRESS: 4551 GREENVILLE LOOP RD, 6501 & 6505 PACIFIC RD
7. EXISTING IMPERVIOUS ONSITE = 0 SF
8. AS-BUILT, BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED AND PROVIDED TO CSD ENGINEERING BY GEOINNOVATION, PC
9. VERTICAL DATUM = 88
10. STORMWATER DRAINS TO BRADLEY CREEK, SC 18-87-24-(42)
11. LAND OWNER - PACIFIC PLACE, LLC
354 ALDRICH LANE
WILMINGTON, NC 28411

BUILDING AND SITE DATA:

TOTAL LOTS PROPOSED - 39 LOTS
 (PROPOSED RESIDENCES ARE SINGLE-FAMILY STRUCTURES W/ MAX. 3 BEDROOMS)
 OVERALL DENSITY - 3.4 UNITS/AC.
 AREA OF LOTS PROPOSED - 7.09 AC.
 AREA OF R/W DEDICATION - 2.04 AC.
 COMMON & RECREATION AREAS - 2.41 AC.
 AVERAGE LOT SIZE - 7919 SF
 TOTAL PROPOSED ROAD LENGTH - 2247 LF
 RECREATION SPACE
 39 LOTS @ 0.03 AC./LOT = 1.17 AC.± RECRD.
 AREA PROVIDED - 1.24 AC.± **
 SETBACKS - 20' FRONT
 7' SIDE
 15' REAR



TYPICAL INTERNAL INTERSECTION
NOT TO SCALE

SRB-4-116 CONDITIONS

1. THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHALL COMPLY WITH ALL REGULATIONS AND REQUIREMENTS IMPOSED BY THE LAND DEVELOPMENT CODE (LDC), THE CITY OF WILMINGTON TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL (TSSM) AND ANY OTHER APPLICABLE FEDERAL, STATE OR LOCAL LAW, ORDINANCE OR REGULATIONS, AS WELL AS ANY CONDITION STATED BELOW. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENT OR HIGHER STANDARD SHALL APPLY.
2. APPROVAL OF THIS PRELIMINARY PLAN DOES NOT CONSTITUTE TECHNICAL APPROVAL OF A SITE PLAN. FINAL APPROVAL BY THE TECHNICAL REVIEW COMMITTEE (TRC) AND THE ISSUANCE OF ALL REQUIRED PERMITS SHALL OCCUR PRIOR TO THE RELEASE OF THE PROJECT FOR CONSTRUCTION.
3. IF, FOR ANY REASON, ANY CONDITION FOR APPROVAL IS FOUND TO BE ILLEGAL OR INVALID OR IF THE APPLICANT SHOULD FAIL TO ACCEPT ANY CONDITION FOLLOWING APPROVAL, THE APPROVAL OF THE SITE PLAN SHALL BE NULL AND VOID.
4. THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHALL BE IN ACCORDANCE WITH THE APPROVED PRELIMINARY PLAN AS SUBMITTED AND APPROVED.
5. UTILITIES SHALL BE PLACED IN APPROPRIATE LOCATIONS RELATIVE TO THE PUBLIC RIGHT OF WAY AND CO-LOCATION OF WATER AND SEWER UTILITIES WITH THE REQUIRED STREET TREES (PER THE CITY TSSM) SHALL BE PURSUED BY THE APPLICANT AND DESIGNER.
6. A TREE PRESERVATION PLAN AND TREE REMOVAL PERMIT SHALL BE REQUIRED FOR THIS PROJECT AND CITY STAFF WILL ISSUE THESE BASED ON ACCEPTABLE LIMITS OF CLEARING AND TREE PRESERVATION.
7. TREES DESIGNATED TO BE PRESERVED SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION AND TREE PROTECTION FENCING SHALL BE NOTED ON THE CONSTRUCTION PLANS. TREE CLEARING WILL BE LIMITED TO ESSENTIAL SITE IMPROVEMENTS WITHIN THE PROJECT LIMITS AS SHOWN ON THE APPROVE SITE PLAN.
8. IF NECESSARY, RESOURCE AREAS, BUFFERS AND SETBACKS PER REQUIREMENT OF THE LDC SHALL BE SHOWN AND LABELED ON THE PRELIMINARY PLAN.
9. ALL EXISTING AND PROPOSED PUBLIC AND NON-MUNICIPAL EASEMENTS SHALL BE ADDED AS NECESSARY TO THE PRELIMINARY PLAN.
10. AN ACCEPTABLE PRELIMINARY PLAN WHICH ADEQUATELY ADDRESS ALL TRC/SRB COMMENTS SHALL BE SUBMITTED FOR SIGNATURE WITHIN THIRTY (30) CALENDAR DATES OF SRB APPROVAL.
11. THE APPLICANT SHALL OBTAIN APPROVAL OF THE STREET NAMES FROM THE CITY ADDRESSING COORDINATOR AND PLACE THE APPROVED NAME ON THE PRELIMINARY PLAN. THIS IS REQUIRED PRIOR TO PLAT RECORDATION AND/OR SITE PLAN SUBMISSION.
12. SIDEWALKS AND STREET TREES SHALL BE INSTALLED BY THE DEVELOPER ALONG BOTH SIDES OF THE PROPOSED PUBLIC STREETS.
13. THE PROPOSED PUBLIC STREET SHALL BE BUILT TO RESIDENTIAL STREET STANDARDS.
14. ALL CITY, STATE, FEDERAL REGULATIONS AND ANY OTHER APPLICABLE FEDERAL, STATE OR LOCAL LAW, ORDINANCE OR REGULATION, AS WELL AS ANY CONDITION STATED BELOW. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENT OR HIGHER STANDARD SHALL APPLY.
15. A SIGN SHALL BE POSED AT THE TERMINUS OF THE SUB STREET GIVING PUBLIC NOTICE OF A FUTURE ROAD CONNECTION.
16. ADEQUATE SIGHT DISTANCE MUST BE ESTABLISHED AND MAINTAINED FOR VEHICULAR MOVEMENTS ENTERING AND LEAVING THE SUBDIVISION.
17. AN 8-10 FT WIDE MULTI-USE PATH SHALL BE PROVIDED ALONG THE GREENVILLE LOOP ROAD FRONTAGE.
18. THE APPLICANT SHALL ENSURE ADEQUATE EMERGENCY ACCESS IS PROVIDED AND MAINTAINED TO AND FROM THE EXISTING 30 FT PRIVATE RIGHT OF WAY THAT CONNECTS TO THE PROPOSED PUBLIC STREET.

CD-2-718 CONDITIONS

1. THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHALL COMPLY WITH ALL REGULATIONS AND REQUIREMENTS IMPOSED BY THE LAND DEVELOPMENT CODE, THE CITY OF WILMINGTON TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL, AND ANY OTHER APPLICABLE FEDERAL, STATE OR LOCAL LAW, ORDINANCE OR REGULATION, AS WELL AS ANY CONDITION STATED BELOW. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENT OR HIGHER STANDARD SHALL APPLY.
2. APPROVAL OF THE CONDITIONAL DISTRICT ZONING DOES NOT CONSTITUTE TECHNICAL APPROVAL OF THE SITE PLAN. FINAL APPROVAL BY THE TRC COMMITTEE AND THE ISSUANCE OF ALL REQUIRED PERMITS MUST OCCUR PRIOR TO RELEASE OF THE PROJECT FOR CONSTRUCTION.
3. IF, FOR ANY REASON, ANY CONDITION FOR APPROVAL IS FOUND TO BE ILLEGAL OR INVALID OR IF THE APPLICANT SHOULD FAIL TO ACCEPT ANY CONDITION FOLLOWING APPROVAL, THE APPROVAL OF THE SITE PLAN FOR THE DISTRICT SHALL BE NULL AND VOID AND NO EFFECT AND PROCEEDINGS SHALL BE INSTITUTED TO REZONE THE PROPERTY TO ITS PREVIOUS ZONING CLASSIFICATION.
4. THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHALL BE IN ACCORDANCE WITH THE PLAN AS SUBMITTED AND APPROVED.
5. THE PROPOSED USE SHALL BE LIMITED TO 39 SINGLE FAMILY LOTS.
6. UTILITIES SHALL BE PLACED IN APPROPRIATE LOCATIONS RELATIVE TO THE PUBLIC RIGHTS OF WAY AND CO-LOCATION OF WATER AND SEWER UTILITIES WITH THE REQUIRED STREET TREES (PER THE CITY TSSM) SHALL BE PURSUED BY THE APPLICANT AND DESIGNER.
7. ALL EXISTING PROTECTED TREES NOT LOCATED WITHIN BUILDING FOOTPRINT OR IMPACTED BY ESSENTIAL SITE IMPROVEMENT SHALL BE PRESERVED OR MITIGATED.
8. A TREE PRESERVATION PLAN AND TREE REMOVAL PERMIT SHALL BE REQUIRED FOR THIS PROJECT AND CITY STAFF SHALL ISSUE THESE BASED ON ACCEPTABLE LIMITS OF CLEARING AND TREE PRESERVATION.
9. TREES DESIGNATED TO BE PRESERVED SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION AND TREE PROTECTION FENCING SHALL BE NOTED ON THE CONSTRUCTION PLANS. TREE CLEARING WILL BE LIMITED TO ESSENTIAL SITE IMPROVEMENTS WITHIN THE PROJECT LIMITS AS SHOWN ON THE APPROVED SITE PLAN.
10. SIDEWALKS AND STREET TREES SHALL BE INSTALLED BY THE DEVELOPER ALONG BOTH SIDES OF THE PROPOSED PRIVATE STREETS.
11. THE PROPOSED PUBLIC STREETS SHALL BE BUILT TO RESIDENTIAL STREET STANDARDS.
12. ADEQUATE SIGHT DISTANCE MUST BE ESTABLISHED AND MAINTAINED FOR VEHICULAR MOVEMENTS ENTERING AND LEAVING THE SUBDIVISION.
13. AN 8-10 FT WIDE MULTI-USE PATH SHALL BE PROVIDED ALONG THE GREENVILLE LOOP ROAD FRONTAGE.
14. AN 8 FOOT PLAT PRIVACY FENCE AND A 10 FOOT WIDE TREE SAVE AREA (BUFFER) SHALL BE PROVIDED W/ DEED RESTRICTION ALONG THE NORTHERN BOUNDARY ADJACENT TO LOTS 28 THRU 36.
15. ALL CITY, STATE AND FEDERAL REGULATIONS SHALL BE MET.

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

File _____

WILMINGTON
NORTH CAROLINA

Public Services • Engineering Division

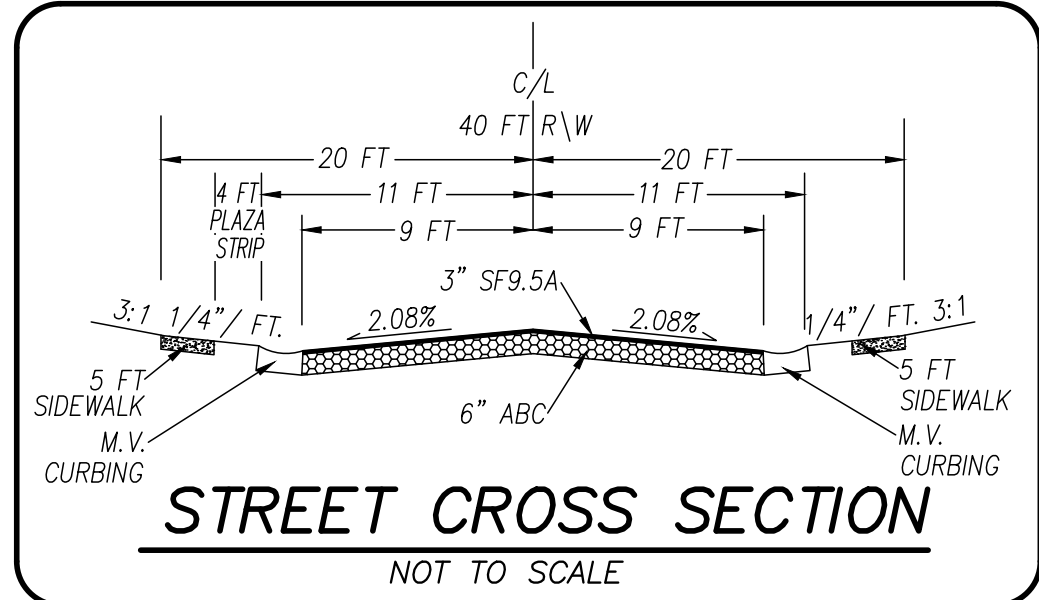
APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

DATE: 7-12-17
 HORIZ. SCALE: 1" = 50'
 VERT. SCALE: N/A
 DRAWN BY: RLW
 CHECKED BY: HSR
 PROJECT NO.: 17-0398



STREET CROSS SECTION
NOT TO SCALE

CSD ENGINEERING

LICENSE # C-2710
 ENGINEERING
 LAND PLANNING
 COMMERCIAL / RESIDENTIAL

P.O. BOX 4041
 WILMINGTON, NC 28406
 (910) 791-4441

PRELIMINARY PLAN for
PACIFIC PLACE

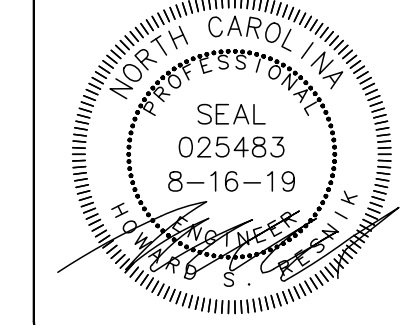
LOCATED IN CITY OF WILMINGTON
 NEW HANOVER COUNTY, NORTH CAROLINA

OWNER: PACIFIC PLACE, LLC
 354 ALDRICH LANE
 WILMINGTON, NC 28411

PRELIMINARY PLAN for
PACIFIC PLACE

LOCATED IN CITY OF WILMINGTON
 NEW HANOVER COUNTY, NORTH CAROLINA

OWNER: PACIFIC PLACE, LLC
 354 ALDRICH LANE
 WILMINGTON, NC 28411



REV	DATE	BY	REMARKS
10	8/16/19	ARB	REVISED PER TRC COMMENTS
9	6/5/19	ARB	REVISED SITE DATA TABLE
8	7/25/19	ARB	REVISED PER TRC COMMENTS
7	5/2/19	ARB	REVISED DRAINAGE SENT BEHIND LOTS 1-5
6	11/13/18	RLW	ADDED TRANSFORMER LOCATION
5	7/26/18	ARB	REVISED LOT LAYOUT AND NUMBERING
4	1/15/18	ARB	PLOTTED FOR CITY SIGNATURE
3	12/11/17	RLW	ADDED STREET LIGHTS

DATE: 7-12-17
 HORIZ. SCALE: 1" = 50'
 VERT. SCALE: N/A
 DRAWN BY: RLW
 CHECKED BY: HSR
 PROJECT NO.: 17-0398